

**DATE:** May 25, 2017

**TO:** Watershed Conservation Authority Governing Board

**FROM:** Johnathan Perisho, Project Manager

**THROUGH:** Mark Stanley, Executive Officer

**SUBJECT:** Item 15: Consideration of a resolution to approve a contract amendment for Withers and Sandgren architectural design services for the River Wilderness Park Entry Improvements Project

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**RECOMMENDATION:** The WCA Governing Board approve a contract amendment with Withers and Sandgren for architectural design services for the River Wilderness Park Entry Improvements Project increasing the not to exceed value by \$5,390 from \$384,630 to \$390,020.

**PROJECT DESCRIPTION:** The River Wilderness Park Entry Improvements Project is the realization of shovel-ready construction documents for the Phase 1 implementation of River Wilderness Park (RWP). This high-profile regional park is envisioned as a gateway for the San Gabriel Mountains National Monument at the northernmost terminus of the San Gabriel River Bikeway along natural river flow in the Azusa Canyon off highway 39 (Location Exhibit A).

Improvements include (Site Plan Exhibit B):

- Roundabout and landmark entrance for traffic calming and safe crossing from the San Gabriel River Bikeway into RWP
- Children's Nature Play Area with playground features composed of natural adventure-themed elements
- Outdoor pavilion for special events
- Landscape features and ecological improvements for habitat, open space, and water management
- Restroom
- River overlooks
- Trails and picnic areas

The 60% construction drawing package has already been instrumental in securing approximately \$2.3 million in funding. Additionally, a visitor center and café space planned for the center of the entrance improvements will be incorporated into a Phase 2 design and implementation.

A geotechnical investigation was completed in December 2016 to move toward the 90% drawings. Based on the findings of the report structural foundations must be increased to complete the construction drawings. The hours needed for this additional work require increasing the budget for architectural design services, which has been budgeted through planned contingency funds.

**BACKGROUND:** A general conceptual planning process for the RWP was completed in October 2007, and the subsequent planning product was adopted by the WCA as the River Wilderness Park Master

Plan (Exhibit C). In this conceptual plan for the park, the Canyon Inn area was included but lightly planned because it was privately held at the time and there were no indications that the owner was interested in selling. In late 2007 the owners of the Canyon Inn approached the WCA regarding potential purchase of the Canyon Inn property as an addition to the River Wilderness Park. In the fall of 2008, the WCA completed its purchase of the Canyon Inn property with funds awarded from both the Rivers and Mountains Conservancy (\$1,500,000), and the California Natural Resources Agency (\$1,900,000). The funds from the Resources Agency were completely expended in the acquisition, leaving funds from the RMC grant for planning efforts for the Canyon Inn property in the amount of \$226,000. The WCA moved forward with planning for the Canyon Inn property and on September 2012, the WCA Board formally adopted the Canyon Inn Conceptual Plan and Programming Report, and incorporated this second planning effort into the RWP Master Plan.

Specific components of the Canyon Inn portion of the RWP Master Plan include development of a formal entryway with signage, an extension of the Azusa Bikeway into the park, and traffic calming measures along State Route 39 that will facilitate a safer at-grade bicycle crossing into the RWP. Other elements include development of a main building to support a welcome center and café (concessioner), restrooms, picnicking areas, an adventure play area, river overlooks, interpretive features, and realignment of North Old San Gabriel Canyon Road and parking.

With a grant accepted from the Rivers and Mountains Conservancy (RMC) on May 15, 2014 in the amount of \$455,998 the WCA has committed funding for planning and design, through construction documents, for an initial package of park features that is comprised of elements described above. This planning and design work will realize the park entry improvement goals of the RWP Master Plan, and provide a shovel-ready project that will be more competitive for future funding opportunities that the WCA can apply for in efforts to begin implementing phases of the RWP Master Plan.

Following a competitive bidding process on July 24, 2014 the WCA Board awarded Withers and Sandgren a contract to lead a team providing design services for the River Wilderness Park Front Entry Improvements Project. The 60% drawings were completed in 2016, and the 90% documents are anticipated in 2017 ahead of the final review and approval process. To finalize specifications a geotechnical investigation was initiated in September 2016—delayed by boring locations in the Caltrans right of way—and completed in December 2016. The final geotechnical report requires thicker foundations for structures (Pavilion Exhibit D, Restroom Exhibit E) and paths, which requires more time than initially allocated for Ewing Architects contracted under Withers and Sandgren (Proposal Exhibit F).

At this time the WCA has secured approximately \$2.3 million for the Children’s Nature Play Area, Outdoor Pavilion, River Overlook off Highway 39, and for landscape features and ecological improvements addressing habitat, open space, and water management. Essential components that still require funding include bringing utilities into the site (sewer and water), restroom, the front entry roundabout and street crossing, and road realignment and parking. The complete Phase 1 park installation is estimated at approximately \$6.5 million, including the \$2.3 million secured to date. Additionally, the main building serving as a welcome center and café space is planned for completion in a phase 2 estimated at approximately \$3.5 million for a total of approximately \$10 million to complete.

**FISCAL INFORMATION:** This action will increase the contract value for Withers and Sandgren for this project by \$5,390 for a total amended contract value not to exceed \$390,020, which has been budgeted through planned contingency funds. This action will be funded by a grant from the Rivers and Mountains Conservancy awarded in the amount of \$455,998 through Proposition 84 funds.

May 25, 2017 - Item 15

**RESOLUTION 2017-20**

**RESOLUTION OF THE WATERSHED CONSERVATION AUTHORITY TO APPROVE A CONTRACT AMENDMENT FOR WITHERS AND SANDGREN ARCHITECTURAL DESIGN SERVICES FOR THE RIVER WILDERNESS PARK ENTRY IMPROVEMENTS PROJECT.**

**WHEREAS**, the Watershed Conservation Authority (WCA) has been established as a joint powers agency between the Rivers and Mountains Conservancy and the Los Angeles County Flood Control District; and

**WHEREAS**, the Watershed Conservation Authority (WCA) has further been established to focus on projects which will provide open space, habitat restoration, and watershed improvement projects in both the San Gabriel and Lower Los Angeles Rivers watershed; and

**WHEREAS**, this action approves a contract amendment for Withers and Sandgren architectural design services for the River Wilderness Park Entry Improvements Project to increase specifications for structural foundations; and

**WHEREAS**, the proposed action is exempt from the provisions of the California Environmental Quality Act (CEQA); NOW

*Therefore be it resolved that* the WCA hereby:

1. **FINDS** that this action is consistent with the purposes and objectives of the WCA.
2. **FINDS** that the actions contemplated by this resolution are exempt from the environmental impact report requirements of CEQA.
3. **ADOPTS** the staff report dated May 25, 2017.
4. **APPROVES** a contract amendment for Withers and Sandgren architectural design services for the River Wilderness Park Entry Improvements Project in the amount of \$5,390, for a new not to exceed contract value up to \$390,020.

*~ End of Resolution ~*

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Resolution 2017-20

Motion: \_\_\_\_\_ Second: \_\_\_\_\_

Ayes: \_\_\_\_\_ Nays: \_\_\_\_\_ Abstentions: \_\_\_\_\_

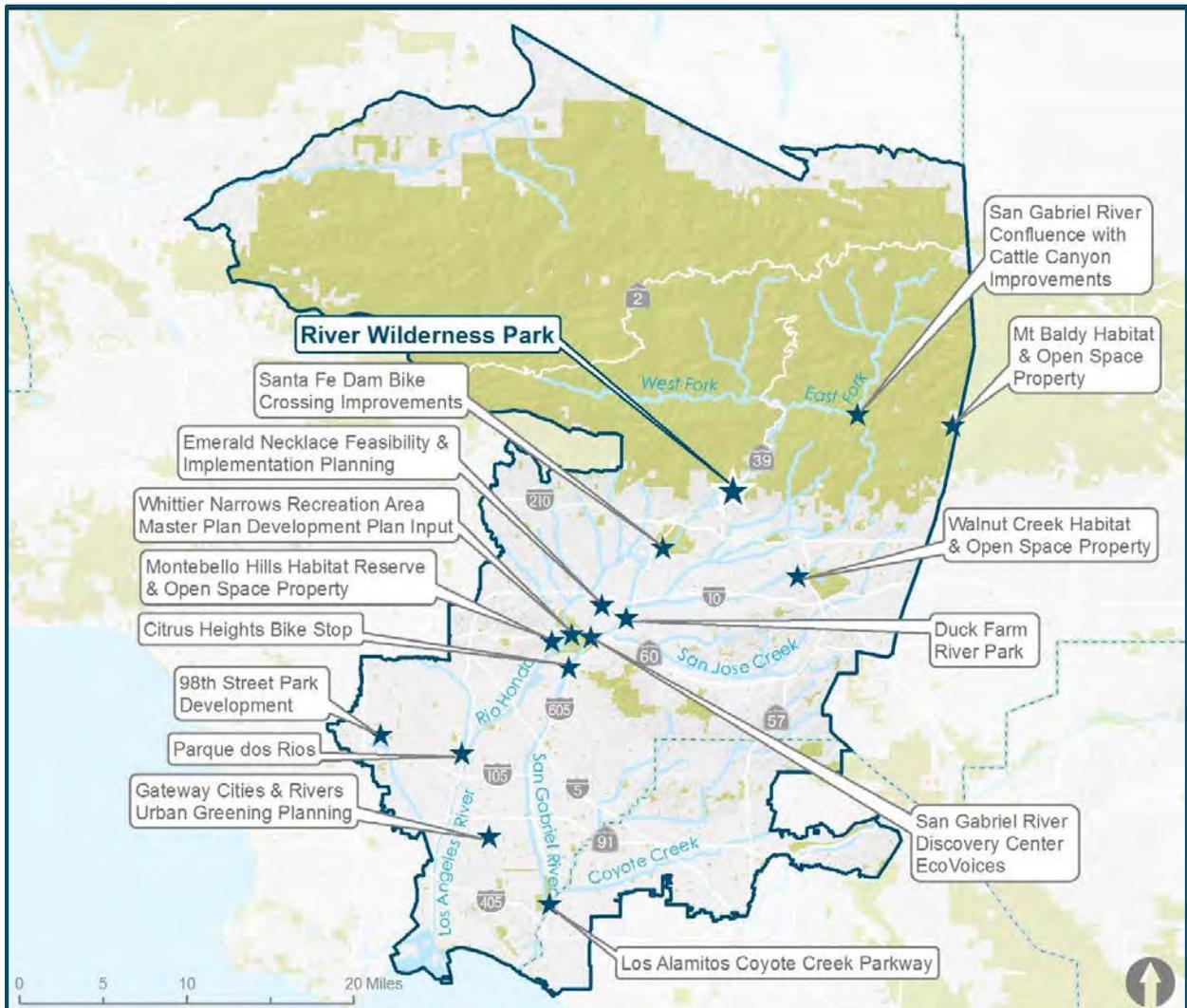
Passed and Adopted by the Board of the  
**WATERSHED CONSERVATION AUTHORITY**  
On May 25, 2017

\_\_\_\_\_  
M. Janet Chin, Governing Board Chair

ATTEST: \_\_\_\_\_  
David Edsall  
Deputy Attorney General



## River Wilderness Park





# RIVER WILDERNESS PARK ENTRY IMPROVEMENTS



- |   |   |
|---|---|
| <b>WESTERN BANK</b><br>■ NATURE TRAIL<br>■ RIVER OVERLOOK<br>■ HABITAT RESTORATION<br>■ INTERPRETIVE SIGN | <b>AZUSA SPRINGS</b><br>■ TENT CAMPING (BY PERMIT)<br>■ NATURE TRAIL<br>■ HABITAT RESTORATION<br>■ INTERPRETIVE INSTALLATIONS |
| <b>POINT BAR</b><br>■ NATURE TRAIL<br>■ HABITAT RESTORATION<br>■ RIVER VIEW BENCH                         | <b>THE TRIANGLE</b><br>■ HABITAT RESTORATION  |

- |  |  |  |
|--|--|--|
| <b>HIGHWAY 39</b><br>■ ROUNDABOUT<br>■ BICYCLE PATH CROSSES UNDER BRIDGE<br>■ TRAFFIC CALMING<br>■ INTERPRETIVE SIGNAGE<br>■ PARK ENTRY SIGN<br>■ RIVER OVERLOOK | <b>CANYON INN</b><br>■ CAFE/BAKERY WITH RESTROOMS & CATERING VEHICLE HOOK-UP<br>■ PAVILION (BY FEE)<br>■ LOOP NATURE TRAIL<br>■ BICYCLE REST STOP<br>■ PICNIC AREA<br>■ ADVENTURE PLAY | <b>EL ENCANTO</b><br>■ RIVER VIEW TERRACE<br>■ PUBLIC COURTYARD<br>■ OFFICES & CONFERENCE ROOM<br><br><b>NEWMAN'S ROOST (SPECIAL-USE AREA)</b><br>■ HILLSIDE THEATER<br>■ LOW-FLOW BROOK & HIGH-FLOW STREAM<br>■ PARK SHELTER<br>■ PICNIC AREAS<br>■ ADA-ACCESSIBLE PATH<br>■ RESTROOM<br>■ INTERPRETIVE DISPLAYS<br>■ TRAIL TO GAGING STATION |
| <b>SHADY GROVE</b><br>■ GROUP PICNIC (BY FEE)<br>■ TENT CAMPING (BY PERMIT)<br>■ ADVENTURE DAY CAMP  |  |  |

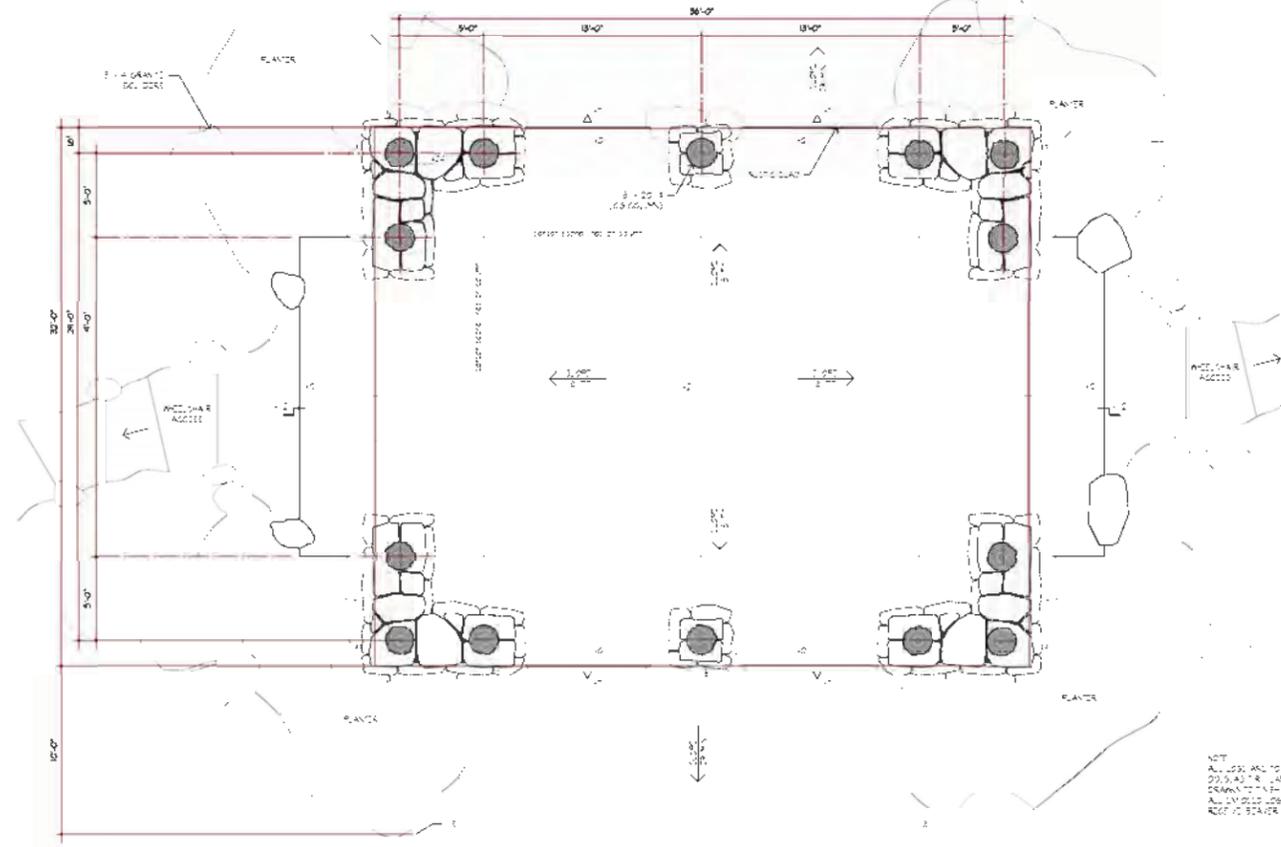
# RIVER WILDERNESS PARK MASTER PLAN

WATERSHED CONSERVATION AUTHORITY



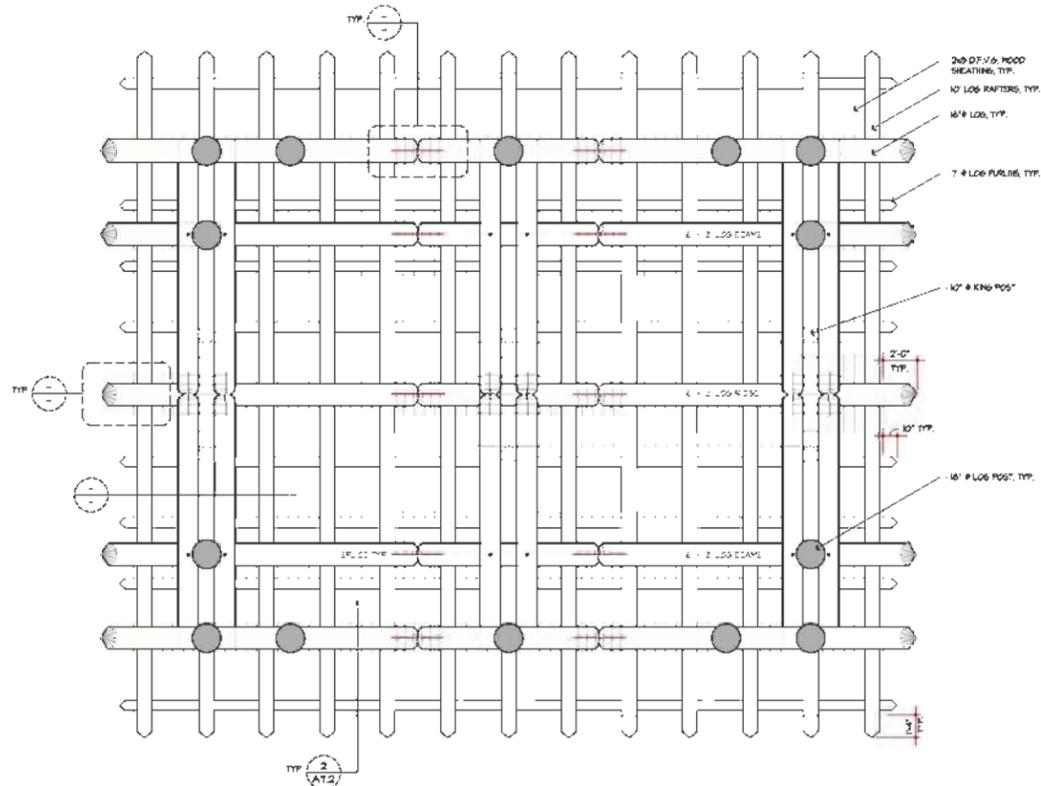
NEWMAN'S ROOST (SPECIAL-USE AREA)

Exhibit D Pavilion



PAVILION FLOOR PLAN

SCALE: 1/4"=1'-0"  
 222'-0" x 244'-0" AREA  
 2627'-0" PERIMETER



PAVILION REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"  
 NORTH

FLOOR PLAN KEYNOTES

- GENERAL:**  
 ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.
- A. BUILDING LOCATION:** Bldg. location is to be set by the datum point shown on this plan. It is the contractor's responsibility to verify all dimensions and locations for compliance with these plans and City, County, State and Federal. Contractor is to notify Architects immediately of any discrepancies or conditions not consistent with these plans.
- B. DATUM ELEVATION:** +0'-0" set from finished floor height of +
- C. BLDG. CONSTRUCTION:** Contractor is to notify Arch. test prior to any work if the work done by the Owner does not match what is shown on these plans, thereby changing the structural and/or aesthetic elements of this building. TOPOGRAPHY has been provided by Owner. Contractor shall verify actual grades and elevations on site and with Owner and Civil Engineer. Contractor shall provide adequate slope (2% minimum for a distance of 5') away from all exterior walls to be provided.
- E. FLOOR FINISHES:** all water (from rain, hoses, etc.) is to flow away from the building perimeter at 2% slope min. for a distance of at least 5'.
- F. KEYNOTES:** Outlined by drawing type, such as Floor Plan Keynotes are 200 series. Reflected Ceiling Plan Keynotes are 300 series, etc. Any given keynote number has the same definition throughout the plans, therefore one number will not have two or more definitions. If found on different sheets in this set, the numbers also correspond to the sheet's first number such as Floor Plans (A2.1, etc.) will have 200 series keynotes.

- FLOOR PLAN KEYNOTES:**
- 200. EXPOSED CONCRETE:** Cast-in-place 4" thick concrete is on grade (f.o.g.) w/ #4 bars @ 16" o.c. 4 score joints (one face cast per 90° corner). Slope 1/4" / 10', minimum to drain away from building into landscape areas. Concrete shall be finished w/ Groose Tip-Cast (see PG. 03-CONSTRUCTION) and surface retarder per schedule on sht. AD.1. Intent is to simulate sand blasted, heavy aggregate finish. See also foundation plan sht. 50.1.1 referenced details.
- 207. EXPOSED LOG POSTS:** All exposed posts to be natural in and develop fir / torch edge w/ a hand drawn #6 finish. Typical log taper shall be 1/8"-1/4" / ft. S.D.C. hand select all logs for appearance & straightness.
- 208. DOWNSPOUTS:** Provide 4" x continuous 26ga. #40 galvanized sheet metal downspouts @ all gutters as shown on exterior elevations & roof plan. Provide sample for Architects approval prior to installation. Where indicated downspouts are to drain directly to rainwater collection locations by others.

- REFLECTED CEILING PLAN KEYNOTES:**
- 301. LOG TIMBERS:** All exposed beams and posts are to be hand selected for appearance as noted in general notes on sheets AD.1. See referenced details for connections. All logs to be natural inland Douglas fir / arch logs w/ a hand drawn #6 finish. Typical log taper shall be 1/8"-1/4" / ft. S.D.C. hand select all logs for appearance & straightness. See exterior elevations for intended tip/butt locations.
- 302. MOOD CEILING:** 2x8 Western Red Cedar 1x4 ceiling per Finish Schedule sht. AD.1. Lay planes in direction as shown. All pieces to be longest lengths possible. (2 min. length) Blind nail and finish per schedule. Contractor to provide 4" sq. field samples for architects approval.
- 303. LIGHTING:** All lighting is to be contained within bays or equally between beams as shown. See also Electrical Plans for additional information.

LEGEND

- NOTE:**  
 FINISH SYMBOLS WITH NUMBER DESIGNATIONS ARE GENERALLY CONSIDERED TO BE KEY LIGHT FINISHES & MAY HAVE SPECIFIC REQUIREMENTS. SEE KEY SCHEDULE SHT. A0.2 FOR ADDITIONAL INFORMATION.
- FINISHES**
- REFLECTED CEILING PLAN 2x8 T&G SHEETING PER KEYNOTE #
  - FLOOR PLAN CONCRETE SLAB W/ TOPCAST FINISH PER KEYNOTE #
- LIGHT FIXTURES**
- PENDANT LIGHT FIXTURES - SEE NOTE ABOVE
  - PENDANT LIGHT FIXTURES: RIGID SHADE BETWEEN POINTS AS SHOWN - NO CENTER HOIST/BOX. SHADE TO MATCH ROOF TYPICAL
  - CEILING MOUNTED LIGHT FIXTURES: MINI KELSO PORCELAIN SOCKET W/ TS H. 642 BALL

Contractor shall verify all the conditions for conformance to drawings, but not be responsible for construction. All drawings are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication of construction.

River Wildemess Park  
 Azusa Canyon

Watershed Conservation Authority

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**EWING ARCHITECTS INC. A.I.A.**  
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 Pasadena, CA 91106  
 626 / 584 - 0860  
 FAX / 584 - 5905  
 EwingArchitects.com

CONSULTANTS

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed back. These drawings are not to be used for construction by the contractor and the contractor has agreed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
 ARCHITECT  
 CONTRACTOR

**REVISIONS**


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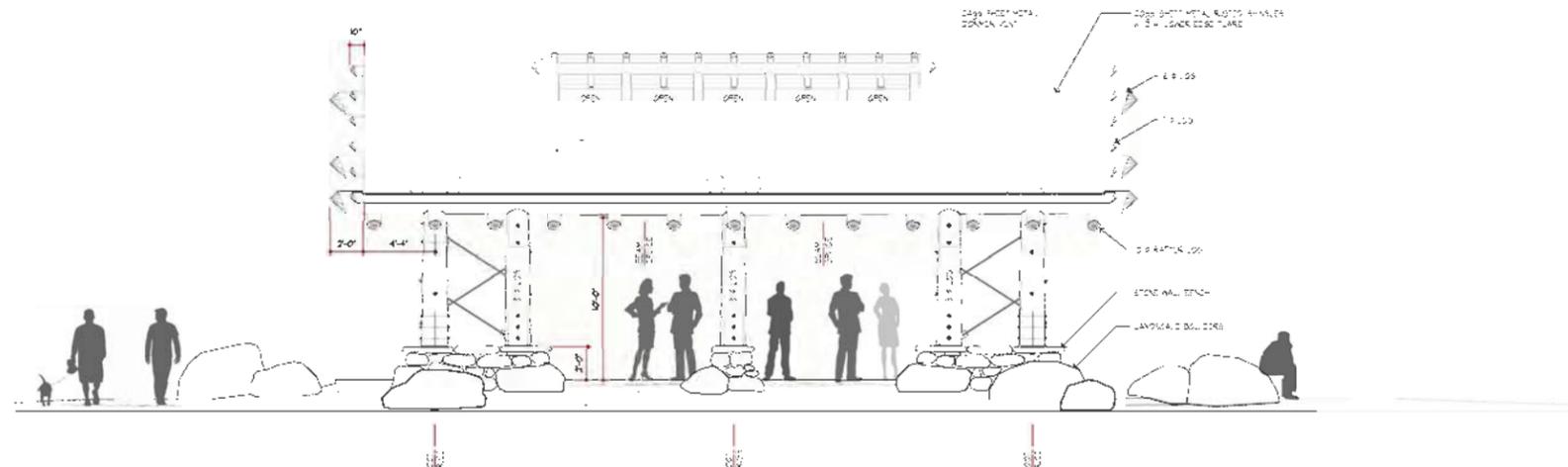
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LOG PAVILION

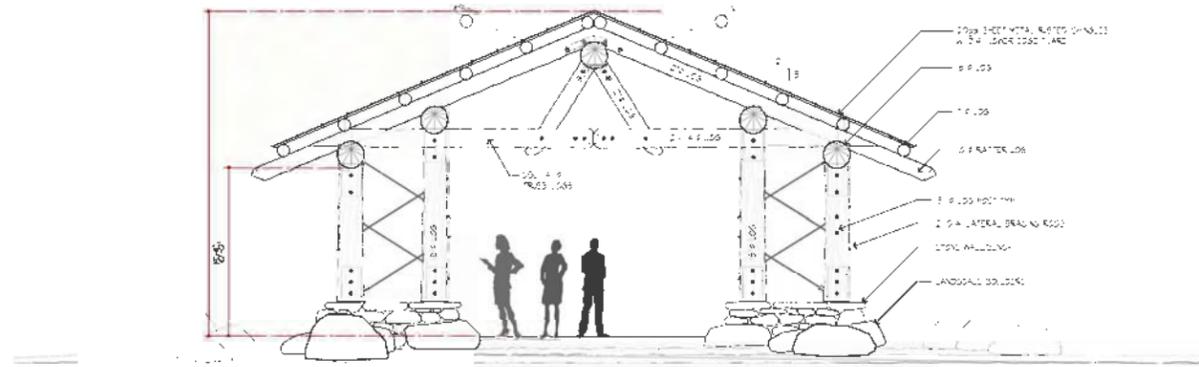
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**PROGRESS PRINTS**  
 NOT FOR CONSTRUCTION

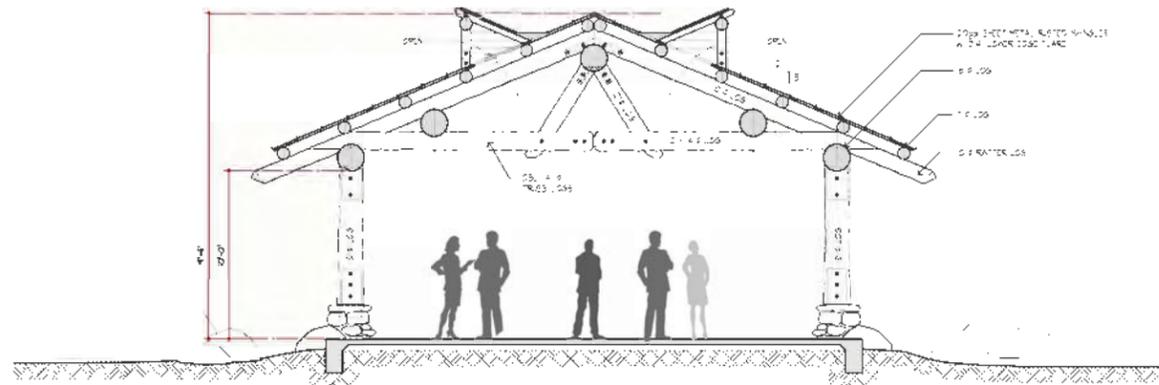
Exhibit D Pavilion



NORTH-WEST ELEVATION  
SCALE: 1/4"=1'-0"



SOUTH-WEST ELEVATION  
SCALE: 1/4"=1'-0"



CROSS SECTION A-A  
SCALE: 1/4"=1'-0"

EXT. ELEVATION  
KEYNOTES

- GENERAL:**  
ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.
- A. **TOPOGRAPHY:** has been provided by owner. Grades and elevations shown may differ from actual conditions due to owner field changes. Contractor shall verify actual grades and elevations on site and with owner. Contractor shall provide adequate slope (2% minimum for a distance of 5') away from all exterior walls as provided.
  - B. **BUILDING LOCATION:** Slag. Locat on is to be set by the datum point shown on the site plan.
  - C. **DATUM ELEVATION:** +0'-0" set from finished floor height. U.N.O.
  - D. **RAFTERS, BEAMS & POSTS:** All exposed logs to be natural inland douglas fir / larch logs w/ a hand drawn /e finish. Typical log taper shall be 1/8" x 1/4" / Ft. Hand select all logs for appearance & straightness. See exterior elevations for intended tip/butt locations. All exposed framing (including blocking) to be considered finish work. Special care to be taken when nailing, bolting or screwing. Any and all fasteners are to align vertically & horizontally. Splices are to occur only where specifically indicated or with Architect's approval.

- E. **STRUCTURAL SYSTEM:** Structural components of the building are shown in these elevations & sections for GENERAL REFERENCE PURPOSES ONLY. See Structural Framing Plans, details and notes to properly understand the structural system and all of its components.
- F. **LIGHT OF EXTERIOR FINISHES:** All finishes extend up to the underside of the roof, whether graphically shown or not.
- G. **DIMENSIONS:** Floor Plan dimensions shall take precedence over Foundation Plan dimensions, any missing and/or conflicting dimensions shall be brought to the attention of the architect immediately for resolution.
- H. **KEYNOTES:** Categorized by drawing type, such as Floor Plan keynotes are 200 series. Reflected Ceiling Plan keynotes are 300 series, etc. Any given keynote number has the same definition/description throughout the plans; therefore one number will not have two or more definitions if found on different sheets in this set. The numbers also correspond to the sheet's first number, such as floor plans (A2.1, etc.) will have 200 series keynotes.

- 300. **EXPOSED CONCRETE FINISH:** Where concrete footings are indicated to be exposed, provide 300 formed concrete. Intend to use 058 pattern to be visible in concrete finish. Where upper surface of exposed concrete is visible prior to 3rd shored edge top. See a so referenced details.
- 301. **FINISH GRADE:** A so refer to plan for site specific elevations. Finish grade and slope away from all buildings as m.n. 12". It for 5'-0" Fin. Twp.
- 302. **EXPOSED BEAMS:** See note above. All exposed beams shall be natural inland douglas fir / larch logs w/ general diameter as noted. Hand selected for appearance. U.N.O. all horizontal logs are to have a level lower edge & tapered upper edge.
- 303. **EXPOSED POSTS:** See note above. All exposed posts shall be natural inland douglas fir / larch logs w/ general diameter as noted. Hand selected for appearance. U.N.O. all posts are to have all knife plate bases per referenced details. All knife plates are to be neatly cut & centered in the post member.
- 304. **STONE WALL:** Natural stacked granite boulder wall w/ stone cap.
- 305. **LANDSCAPE BOULDERS:** 2'-0" to 4'-6" granite boulders set 20% into grade. Excess shape and placement of boulders to be as shown on Site Plan. Reuse existing boulders from excavation as pose are, where boulders occur on concrete slabs, boulders are to be set into forms prior to pouring concrete. Contractor shall verify specific boulder locations w/ Architect. Boulders are to be hand selected for appearance & conformance with these plans & elevations. All boulders are to be natural feeling, not egg or ball shaped. Where boulders occur together they should look naturally mated. Surfaces should be free of recent chips or damage.

Contractor shall verify all the conditions for conformance to drawings, but the contractor shall be subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

River  
Wilderness Park  
Azusa Canyon

Watershed Conservation  
Authority

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These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed back. These drawings are not to be used for construction by the contractor and the contractor has agreed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
ARCHITECT  
CONTRACTOR

REVISIONS

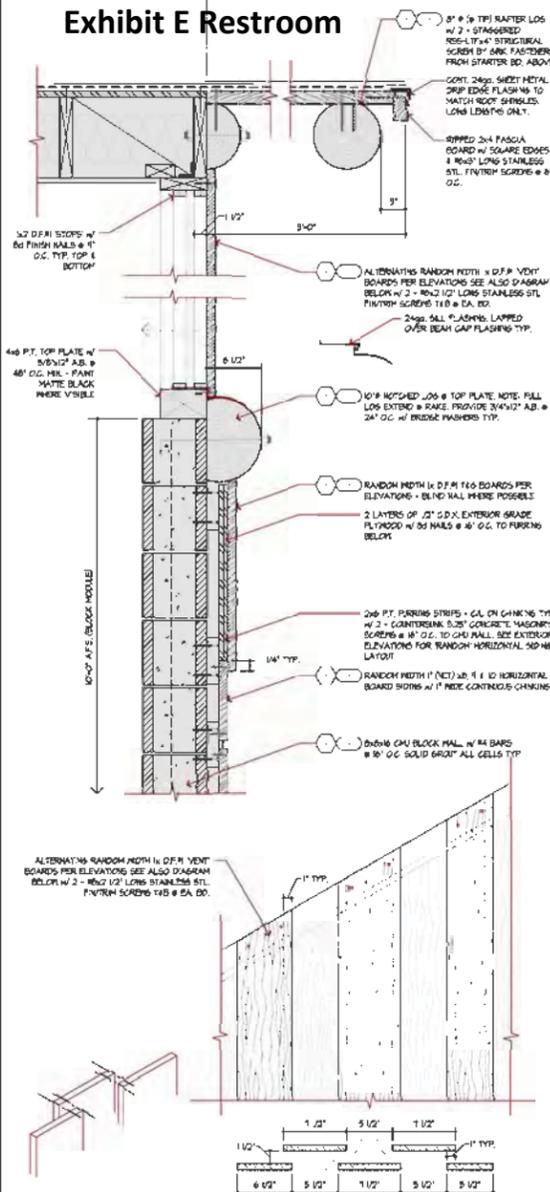

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Dec. 18, 14  
DATE

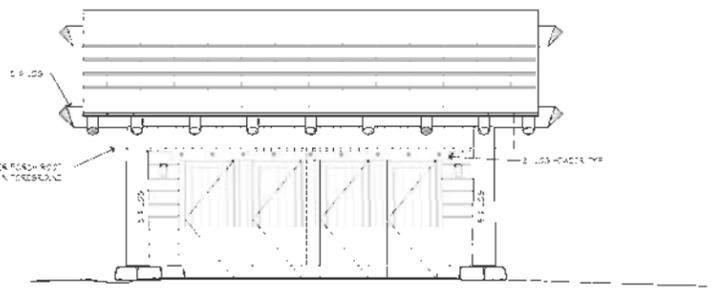
EXTERIOR  
ELEVATIONS  
SHEET TITLE  
**A5.1P**  
SHEET NO.



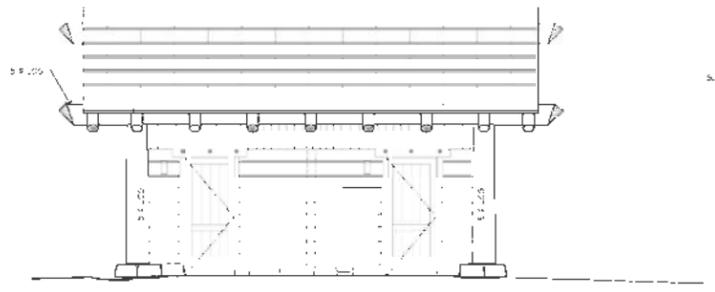
# Exhibit E Restroom



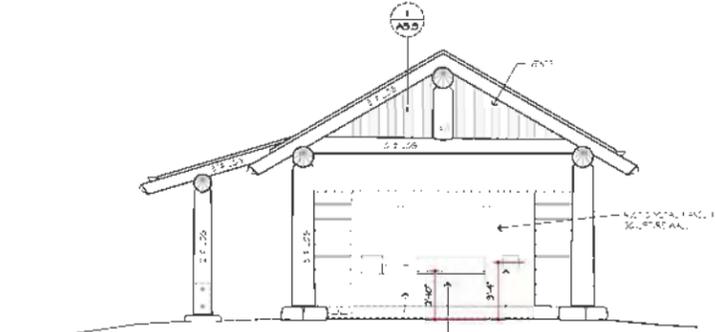
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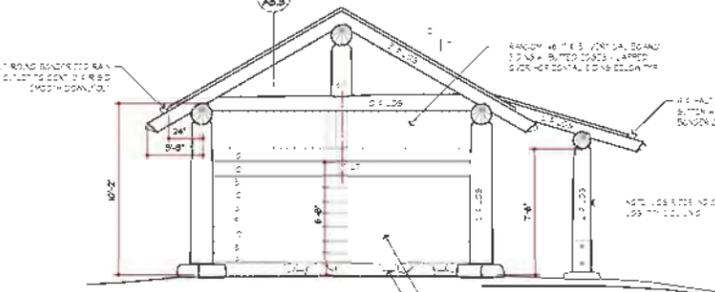
NORTH-EAST ELEVATION  
SCALE: 1/4" = 1'-0"



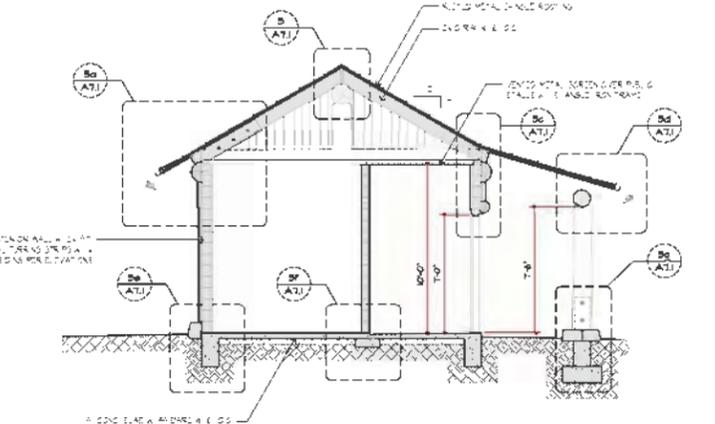
SOUTH-WEST ELEVATION  
SCALE: 1/4" = 1'-0"



NORTH-WEST ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH-EAST ELEVATION  
SCALE: 1/4" = 1'-0"



CROSS SECTION A-A  
SCALE: 1/4" = 1'-0"

## EXT. ELEVATION KEYNOTES

- GENERAL:** ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.
- A. **TOPOGRAPHY:** has been provided by owner. Grades and elevations shown may differ from actual conditions due to owner field changes. Contractor shall verify actual grades and elevations on site and with owner. Contractor shall provide adequate slope (2% minimum for a distance of 5') away from all exterior walls to be provided.
- B. **BLINDING LOCATION:** Blg. location is to be set by the datum point shown on the site plan.
- C. **DATUM ELEVATION:** +0'-0" set from finished floor height. U.N.O.
- D. **RAFTERS, BEAMS & POSTS:** All exposed logs to be natural. Minimum diameter 4" / 1/2" long logs w/ a hand drawn finish. Typical log taper shall be 1/8" x 1/4" / Ft. Hand select all logs for appearance & straightness. See exterior elevations for intended tip/butt locations. All exposed framing (including blocking) to be considered finish work. Special care to be taken when nailing, bolting or screwing. Any and all fasteners are to align vertically & horizontally. Splices are to occur only where specifically indicated or with Architect's approval.
- E. **STRUCTURAL SYSTEM:** Structural components of the building are shown in these elevations & sections for GENERAL REFERENCE PURPOSES ONLY. See Structural Framing Plans, details and notes to properly understand the structural system and all of its components.
- F. **FINISHES:** ALL FINISHES EXTEND UP TO THE UNDERSIDE OF THE ROOF, WHETHER GRAPHICALLY SHOWN OR NOT.
- G. **DIMENSIONS:** Floor Plan dimensions shall take precedence over Foundation Plan dimensions, any missing and/or conflicting dimensions shall be brought to the attention of the architect immediately for resolution.
- H. **KEYNOTES:** Contourized by drawing type, such as Floor Plan keynotes are 200 series. Reflected Ceiling Plan keynotes are 300 series, etc. Any given keynote number has the same definition/description throughout the plans; therefore one number will not have two or more definitions if found on different sheets in this set. The numbers also correspond to the sheet's first number, such as floor plans (A2.1, etc.) will have 200 series keynotes.
- I. **ELEVATION KEYNOTES:**
300. **EXPOSED CONCRETE FINISH:** Where concrete footings are indicated to be exposed, provide 304 formed concrete. Intend to use 308 pattern to be visible in concrete finish. Where upper surface of exposed concrete is visible prior to 304' sheared edge top. See also referenced details.
301. **HORIZONTAL SIDING:**
302. **VERTICAL SIDING:**
303. **FINISH GRADE:** A so refer to plan for site specific elevations. Finish grade and slope away from all buildings at min. 1/2" / Ft. for 5'-0" min. TYP.
304. **EXPOSED BEAMS:** See note above. All exposed beams shall be natural inland Douglas fir / 1/2" long logs w/ general diameter as noted. Hand selected for appearance. U.N.O. all horizontal logs are to have a level lower edge & tapered upper edge.
305. **EXPOSED POSTS:** See note above. All exposed posts shall be natural inland Douglas fir / 1/2" long logs w/ general diameter as noted. Hand selected for appearance. U.N.O. all posts are to have act. knife plate bases per referenced details. All knife plates are to be neatly cut & contained in the post member.
307. **STONE WALL:** Natural stacked granite boulder wall w/ stone cap.
308. **LANDSCAPE Boulders:** 2'-0" to 4'-0" granite boulders set 308 into grade. Expose shape and placement of boulders to be as shown on Site Plan. Reuse existing boulders from excavation as possible. Where boulders occur at concrete slabs, boulders are to be set into forms prior to pouring concrete. Contractor shall verify specific boulder locations w/ Architect. Boulders are to be hand selected for appearance & conformance with these plans & elevations. All boulders are to be "natural" looking, not "egg" or "ball" shaped. Where boulders occur together they should look naturally related. Surfaces should be free of recent chips or damage.

Contractor shall verify all the conditions for conformance to drawings. **Item 15** drawings shall be subject to verification by the contractor and he shall notify Ewing Architects, Inc. of any discrepancies prior to fabrication of construction.

**River Wilderness Park  
Azusa Canyon**

**Watershed Conservation Authority**

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**CONSULTANTS:**

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed them. These drawings are not to be used for construction by the contractor and the contractor has agreed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

**OWNER:**

**ARCHITECT:**

**CONTRACTOR:**

**REVISIONS**

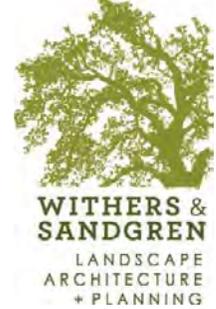

PLOTTED Apr 20, 15  
DRAWN LAST J LAM

14-0664  
JOB NO.  
Nov. 26, 14  
DATE

RESTROOM BLDGS.  
EXT. ELEV.

SHEET TITLE  
**A5.3** 11  
SHEET NO.

**PROGRESS PRINTS  
NOT FOR CONSTRUCTION**



May 17, 2017

**AZUSA RIVER WILDERNESS PARK ENTRY IMPROVEMENTS  
ADDITIONAL SERVICE REQUEST – PHASE 1**

Dear Watershed Conservation Authority:

*This proposal is to request additional Architectural Services and associated administration fees for the River Wilderness Park project. The Pavilion and restroom structures were approved by the client and the construction documents completed to 90% in 2015. Ewing Architects received the Geotechnical Evaluation (soils) report prepared by Ninyo & Moore dated January 17, 2017 and now the architect must rework the existing structures based on the geotechnical findings.*

*The soils report documents highly unusual, undocumented and unsuitable fill, deep bedrock and difficult excavation conditions. These required changes will be reflected on foundation plans, building sections, details and structural calculations.*

*The proposed additional service fees are based on actual hours required to make the required changes to the current construction documents to conform to the recommendations noted within the recently received soils report.*

Additional Service fees:

1. Architectural

a. Project Designer:	5 hours at \$165.00	\$825.00
b. Project Architect:	8 hours at \$135.00	\$1,080.00
c. CAD Drafting:	20 hours @ \$85.00	\$1,700.00

2. Structural

a. Project Engineer:	7 hours @ \$185.00	\$1,295.00
	Fee:	\$4,900.00

3. Withers & Sandgren Administration Fee – 10%

Fee: \$ 490.

**Total Fee: \$5,390.00**

Thank you.

Sincerely, Jan Sandgren, Principal